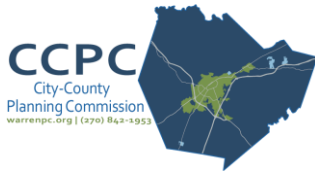


DETAILED DEVELOPMENT PLAN STAFF REPORT



Docket Number: 2018-05-DP
Public Hearing Date: April 19, 2018
Pre-Application Conference: March 15, 2018

Description of Request: The applicant has applied for approval of a Detailed Development Plan on tracts of land totaling 20.00 acres located at 442 (Lot 22) and 458 (Lot 23) Century Street. The plan proposes the construction of an 187,500 square foot warehousing facility with plans to construct an additional 156,250 square foot warehousing facility in Phase 2. The total development will include 343,750 square feet of warehousing and storage space. This property is zoned **HI** (Heavy Industrial) with a general development plan.

Applicant/ Property Owner:

Molsheim Holdings, LLC.
 1280 Fairway Street, Suite 100
 Bowling Green, KY 42101

Location of Property: 442 (Lot 22) and 458 (Lot 23) Century Street

PVA Parcel Numbers: 030A-58A **Current Zoning:** HI (Heavy Industrial)

Property Size: 20.00 acres **Existing Land Use:** Agricultural

Existing Land Use of the Surrounding Area:

The surrounding area is predominantly comprised of industrial, agricultural and single family residential land uses. There are multi-family residential, commercial, and public uses in the area as well. There are also some vacant tracts in the general vicinity.

Zoning History:

AG (Agriculture) was the original zoning for the property. The property was rezoned from **AG** (Agriculture) to **I-2** (Heavy Industrial) in September, 1998. The property was converted from **I-2** (Heavy Industrial) to **HI** (Heavy Industrial) through an amendment to the Zoning Ordinance in December, 2001.

DETAILED DEVELOPMENT PLAN REVIEW

Sec 3.11.5 of the Zoning Ordinance states the following:

Detailed Development Plan Required: Prior to the issuance of building permits, a detailed development plan shall be approved by the Planning Commission for the following:

- **All industrial developments or uses containing over 75,000 sq. ft. in total building area.**
-

The Applicant has submitted a **Detailed Development Plan** (see attached) to be reviewed for compliance with the following **Binding Elements** recorded in Deed Book 769 Page 641 (Tract 2):

1. **FIRE CONTROL.** Water service to the Property shall meet the existing fire flow requirements of the City of Bowling Green, including the installation of necessary fire hydrants.
2. **SANITARY SEWER STANDARDS.** The Property shall comply with the sanitary sewer standards of the City of Bowling Green and development shall be connected to the existing public sanitary sewer system.
3. **BUFFERING.** The Property boundaries fronting McClellan Road shall be bermed with earth and/or landscaped with shrubs and evergreen trees buffering for a minimum depth of 10 feet along McClellan Road across from residential uses.
4. **ACCESS TO MCCLELLAN ROAD.** There shall be not more than four (4) public accesses to the Property from McClellan Road, including the extension of Century Street described at paragraph 6 hereinbelow, and excluding the single existing private access. All public accesses, including the extension of Century Street, will be limited to passenger automobiles, passenger vehicles, and single axle trucks and trailers. Drive entrance widths and turning radius shall be designed to prevent use of access points from McClellan Road by heavy industrial vehicles, such as 18-wheel trucks or trailers. No new access points will be constructed along the south edge of the Property until McClellan Road has been constructed as a four lane street as currently planned by the City of Bowling Green.
5. **LIGHTING.** All lighting shall be focused inward and downward into the Property, and away from abutting residential uses.
6. **LOT SIZE.** No lot in the Property shall be smaller than ten (10) acres.
7. **BUILDING HEIGHTS.** Buildings and structures within 100 feet of McClellan Road shall be limited to thirty-five (35) feet in height. Buildings further than 100 feet from McClellan Road shall be limited to a maximum height of six stories or seventy (70) feet; provided that there shall be an additional one-foot setback from McClellan Road for each foot of building height over thirty-five (35) feet.
8. **INTERIOR STREETS.** The Property may be served by an interior street system. The southern half of Century Street will not be connected to McClellan Road until McClellan Road has been constructed into a four-lane highway.
9. **GREENSPACE.** All unimproved areas within the Property, as well as area not in use for building structures, parking, loading or unloading, driveway or access, shall be kept mowed, pastured, and/or landscaped adequately and attractively with lawns, trees, shrubs, and other plantings.

DETAILED DEVELOPMENT PLAN REVIEW (Continued)

10. PROHIBITED USES. No part of the Property shall be used as a stone quarry, air park, pet food processing plant, poultry, beef or pork processing plant, fish farm or fish processing plant, explosives or acid manufacturing plant, salvage yard, junkyard, rendering plant, boiler works, smelting plant, coke oven, recycling facility, dairy facility, paving material manufacturer, concrete mixing plant, slaughterhouse or stockyard, forge plant foundry, or any use which would emit detrimental or obnoxious smoke, odors, noxious gases, excessive noise or excessive vibrations beyond the confines of the Property.

STAFF REVIEW

The plan was reviewed based on the **HI** (Heavy Industrial) zoning classification and the Binding Elements as follows for **Lot 22 (442 Century Street)**:

	<u>Allowed / Required</u>	<u>Provided</u>
<u>Lot Coverage:</u>	90%	67%
<u>Setbacks:</u>	Front: 25' (Century Street)	92.3'
	Side: 0' (West)	133.4'
	Side: 0' (East)	80.0'
	Rear: 0' (South)	97.3'
<u>Parking:</u>	50 spaces (Lot 22) 100 spaces total (Lots 22 and 23) (1 space/employee max. shift) *Lots 22 and 23 will have shared parking agreement recorded for benefit of both lots	6 spaces 118 spaces total for both lots
<u>Building Height:</u>	70' (6 stories – Binding element #7)	29' (one story)
<u>Landscaping:</u>	The landscaping plan submitted meets the requirements of the Zoning Ordinance and the Binding Elements and is approved.	
<u>Signage:</u>	No information was provided as to any proposed signage. The site would be allowed only one (1) freestanding sign, no more than thirty (30) feet in height and 100 square feet in sign face. Wall signage is limited to 100 square feet or 10 percent of any façade, whichever is greater.	
<u>Drainage:</u>	The drainage plan will be reviewed by the City of Bowling Green Public Works Department and final approval will be required, prior to the issuance of a building permit.	
<u>Traffic:</u>	A Traffic Impact Study (TIS) was not required to be submitted with this Detailed Development Plan application.	

STAFF REVIEW (Continued)

Access: The development has one (1) proposed shared access point onto Century Street. The proposed access point has been reviewed and approved by the City of Bowling Green Public Works Department.

STAFF REVIEW

The plan was reviewed based on the **HI** (Heavy Industrial) zoning classification and the Binding Elements as follows for **Lot 23 (458 Century Street)**:

	<u>Allowed / Required</u>	<u>Provided</u>
<u>Lot Coverage:</u>	90%	60%
<u>Setbacks:</u>	Front: 25' (Century Street)	254.8'
	Side: 0' (West)	101.7'
	Side: 0' (East)	111.7'
	Rear: 0' (South)	60.0'
<u>Parking:</u>	50 spaces (Lot 23) 100 spaces total (Lots 22 and 23) (1 space/employee max. shift) *Lots 22 and 23 will have shared parking agreement recorded for benefit of both lots	112 spaces 118 spaces total for both lots
<u>Building Height:</u>	70' (6 stories – Binding element #7)	29' (one story)
<u>Landscaping:</u>	The landscaping plan submitted meets the requirements of the Zoning Ordinance and the Binding Elements and is approved.	
<u>Signage:</u>	No information was provided as to any proposed signage. The site would be allowed only one (1) freestanding sign, no more than thirty (30) feet in height and 100 square feet in sign face. Wall signage is limited to 100 square feet or 10 percent of any façade, whichever is greater.	
<u>Drainage:</u>	The drainage plan will be reviewed by the City of Bowling Green Public Works Department and final approval will be required, prior to the issuance of a building permit.	
<u>Traffic:</u>	A Traffic Impact Study (TIS) was not required to be submitted with this Detailed Development Plan application.	
<u>Access:</u>	The development has one (1) proposed shared access point onto Century Street. The proposed access point has been reviewed and approved by the City of Bowling Green Public Works Department.	

STAFF SUMMARY

The applicant has submitted a Detailed Development Plan that proposes the construction of an 187,500 square foot warehousing facility with plans to construct an additional 156,250 square foot warehousing facility in Phase 2. The total development will include 343,750 square feet of warehousing and storage space. The proposed development plan meets the requirements of the Zoning Ordinance and the Binding Elements, except for the suggested conditions of approval listed below.

SUGGESTED CONDITIONS OF APPROVAL

- 1) The drainage plan will be reviewed by the City of Bowling Green Public Works Department and final approval will be required, prior to the issuance of a building permit;
- 2) A shared access and a cross parking easement for the use and benefit of Lots 22 (442 Century Street) and 23 (458 Century Street) must be in a recordable document, prior to the issuance of a building permit.

MOTIONS

MOTION TO APPROVE:

I make the motion to **approve** the Detailed Development Plan, Docket number **2018-05-DP** subject to the following conditions:

- 1) The drainage plan will be reviewed by the City of Bowling Green Public Works Department and final approval will be required, prior to the issuance of a building permit;
- 2) A shared access and a cross parking easement for the use and benefit of Lots 22 (442 Century Street) and 23 (458 Century Street) must be in a recordable document, prior to the issuance of a building permit.

My motion is based upon the Detailed Development Plan's compliance with Section 3.11.6 of the Warren County Zoning Ordinance.

OR

MOTION TO DENY:

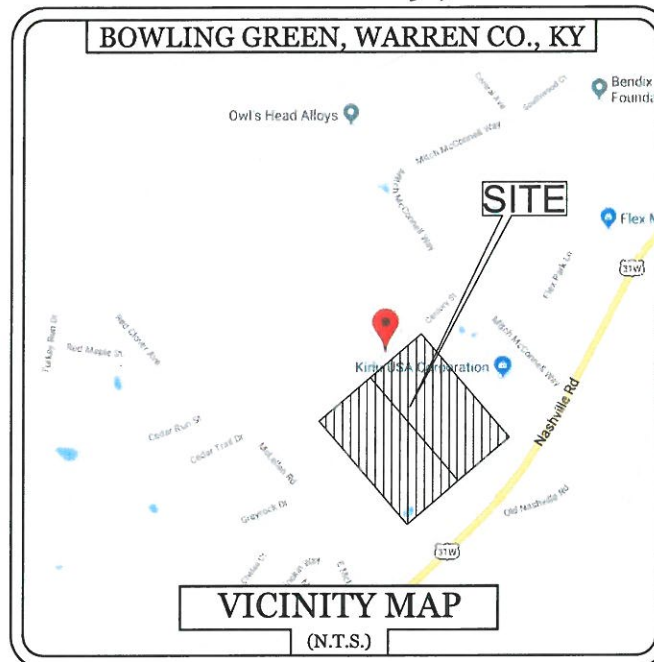
I make the motion to **deny** the Detailed Development Plan, Docket number **2018-05-DP**. My motion is based upon the Detailed Development Plan's failure to meet the requirements of Section 3.11.6 of the Warren County Zoning Ordinance as follows:

I further request that the staff transmit a written notice to the applicant within 10 days of this action detailing the reasons for denial.

DETAILED DEVELOPMENT PLAN FOR US WAREHOUSING LOTS 22 AND 23 SOUTH CENTRAL KENTUCKY INDUSTRIAL PARK 442 AND 458 CENTURY STREET BOWLING GREEN, KY. 42101

MARCH 22, 2018
REV. APRIL 9, 2018*

***REVISED PER CITY COUNTY
PLANNING COMMISSION
REVIEW & COMMENTS**



SHEET

COVER SHEET	
C1	EXISTING TOPOGRAPHY
C2	SITE LAYOUT
C3	SITE GRADING AND DRAINAGE
C4.0	INITIAL EROSION CONTROL
C4.1	FINAL EROSION CONTROL
C5	SEWER AND WATER
C6	ELECTRIC, GAS, AND TELEPHONE
C7	SITE DETAILS
C8	SITE DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE ENLARGEMENT
SL1	SITE LIGHTING PLAN

DEVELOPERS:
STEWART RICHEY SERVICES GROUP
2137 GLEN LILY ROAD
BOWLING GREEN, KY 42101
CONTACT: BEN KELTNER
(270) 842-5184

**ENGINEER, SURVEYOR,
& LANDSCAPE ARCHITECT:**
ARNOLD CONSULTING
ENGINEERING SERVICES
P.O. BOX 1338
BOWLING GREEN, KY 42101
CONTACT: BRANDY ZACKERY
(270)780-9445

ARCHITECT:
WILLIAMS ASSOCIATE ARCHITECTS
1136 SOUTH PARK DRIVE, SUITE 102
BOWLING GREEN, KY 42103
CONTACT: JOHN WILLIAMS
(270) 782-2273

OWNER:
MOLSHEIM HOLDINGS, LLC
1280 FAIRWAY STREET, SUITE 100
BOWLING GREEN, KY 42101
DEED BOOK 877 PAGE 917
PLAT BOOK 30 PAGES 181
(270) 392-0402

UTILITY COMPANIES/ GOVERNMENT OFFICIALS

PLANNING COMMISSION:
CITY - COUNTY PLANNING COMMISSION
1141 STATE STREET
BOWLING GREEN, KY 42101
CONTACT: STEVE MCWHORTER
TELEPHONE: (270) 842-1953

WATER AND SEWER:
WARREN COUNTY WATER DISTRICT
523 US-31W BYPASS
BOWLING GREEN, KY 42101
CONTACT: TIM MINNICKS
TELEPHONE: (270) 842-0052

ELECTRICITY:
WRECC
951 FAIRVIEW AVENUE
BOWLING GREEN, KY 42101
CONTACT: RYAN ALEXANDER
TELEPHONE: (270) 842-8541

GAS:
ATMOS ENERGY
2850 RUSSELLVILLE ROAD
BOWLING GREEN, KY 42101
CONTACT: BYRON OOST
TELEPHONE: (270) 901-1710

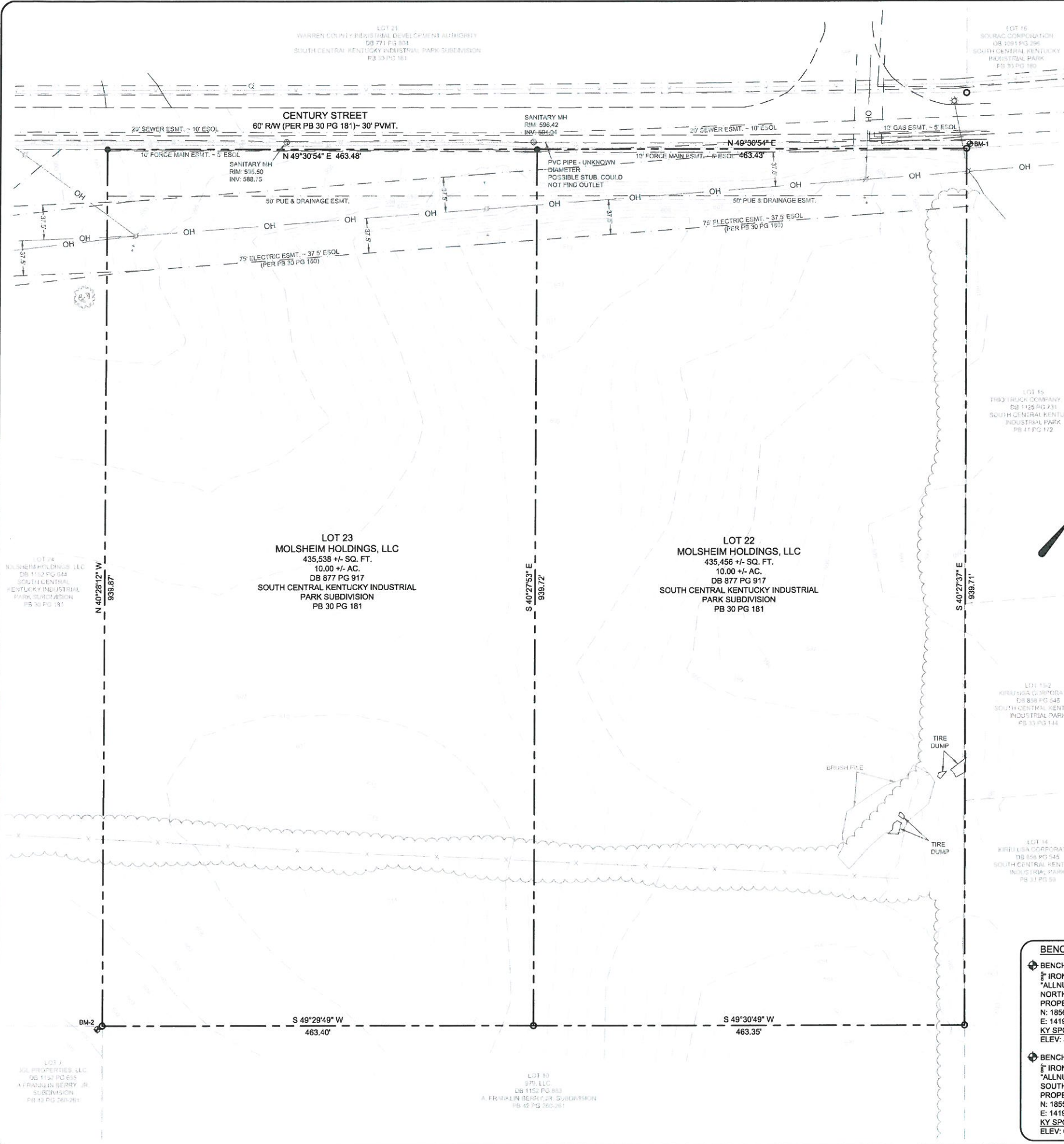
TELEPHONE:
AT&T
1061 LOVERS LANE
BOWLING GREEN, KY 42103
CONTACT: BUZZ COLBURN
TELEPHONE: (270) 782-4811

CABLE:
SPECTRUM
515 DOUBLE SPRINGS RD.
BOWLING GREEN, KY 42101
CONTACT: TRAVIS HAYES
TELEPHONE: (270) 892-4357



**ARNOLD CONSULTING
ENGINEERING SERVICES
P.O. BOX 1338 BOWLING GREEN KY, 42101
PHONE (270) 780-9445**





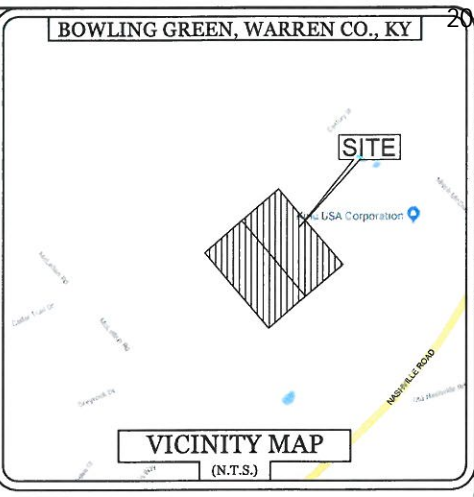
FLOODPLAIN INFORMATION
 THE PROPERTY SHOWN HEREON DOES NOT LIE IN A FLOOD PRONE AREA ACCORDING TO (FIRM) FLOOD INSURANCE RATE MAP FOR WARREN COUNTY, KENTUCKY. SAID AREA IS SHOWN ON MAP #21227C0295E, WITH AN EFFECTIVE DATE OF MAY 2, 2007.

PARCEL OWNER, ADDRESS, AND SOURCE OF TITLE

LOT 22	MOLSHEIM HOLDINGS, LLC. 1280 FAIRWAY STREET, SUITE 100 BOWLING GREEN, KY 42101 DEED BOOK 877 PAGE 917 PLAT BOOK 30 PAGES 181
LOT 23	MOLSHEIM HOLDINGS, LLC. 1280 FAIRWAY STREET, SUITE 100 BOWLING GREEN, KY 42101 DEED BOOK 877 PAGE 917 PLAT BOOK 30 PAGES 181

CLASS "A" SURVEY
 URBAN OR SUBURBAN
 DATE OF FIELD SURVEY
 NOVEMBER 28, 2017

TOTAL AREA OF SURVEY
 870,994 +/- SQ. FT.
 20.00 +/- ACRES



LEGEND

- ⊕ BENCHMARK
- ⊙ IRON PIN FOUND
- ⊙ IRON PIN SET
- ⊕ CONCRETE R/W MONUMENT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEAN OUT
- ⊕ ANCHOR
- ⊕ UTILITY POLE
- ⊕ SIGNAL POLE
- ⊕ ELECTRIC BOX
- ⊕ ELECTRIC METER
- ⊕ GAS VALVE
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ GAS METER
- ⊕ TELEPHONE PEDESTAL
- ⊕ STORM SEWER MANHOLE
- ⊕ DROP BOX INLET
- ⊕ CURB BOX INLET
- ⊕ PIPE BOLLARD
- ⊕ GUTTER OUTLET
- ⊕ ROAD SIGN
- ⊕ TREE

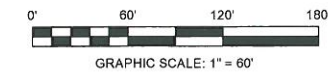
GPS NOTE
 THE SURVEY SHOWN HEREON IS BASED ON GPS DATA COLLECTED BY ACES USING BOTH STATIC AND RTK METHODS WITH DUAL FREQUENCY TOPCON HIPER GA (GGD) RECEIVERS. THE ENTIRETY OF THE DATA COLLECTED FOR THIS SURVEY WAS DONE SO THROUGH GPS MEANS WHEN ACCEPTABLE, AND BY CONVENTIONAL MEANS, FROM GPS CONTROL POINTS, WHEN NECESSARY. RTK DATA WAS COLLECTED FOR ANY SITE FEATURES AND ALL CONTROL POINTS AND BOUNDARY INFORMATION WAS COLLECTED IN STATIC MODE WITH A HRMS OF 0.02' OR LESS. VECTORS AND/OR BASELINES HAVE BEEN CHECKED THROUGH STATIC OBSERVATIONS.

- MB MAILBOX
- LAMP POLE
- BSBL BUILDING SET BACK LINE
- ESOL EACH SIDE OF LINE
- PUE PUBLIC UTILITY EASEMENT
- FFE FINISHED FLOOR ELEVATION
- PROPERTY LINE
- SETBACK LINE
- EASEMENTS
- LOT LINE TO BE ABANDONED
- CENTERLINE
- UNDERGROUND ELECTRIC
- G GAS LINE
- OH OVERHEAD UTILITIES
- BURIED TELEPHONE
- SS SANITARY SEWER LINE
- WATER LINE
- ST STORM SEWER LINE
- X FENCE LINE
- DRAINAGE ESMT.

SURVEYOR'S CERTIFICATE

I DO HEREBY CERTIFY THAT THE URBAN SURVEY SHOWN HEREON WAS PERFORMED UNDER MY DIRECTION USING APPROPRIATE G.P.S. METHODS FOR MEASURING RECOVERED MONUMENTS AND ESTABLISHING SURVEY CONTROL AND/OR BY THE METHOD OF RANDOM TRAVERSE. CONVENTIONAL METHODS OF REDUNDANCY WERE EMPLOYED TO ENSURE THE QUALITY OF THE GPS DATA. THE UNADJUSTED MATHEMATICAL ERROR OF CLOSURE OF THE TRAVERSE AND THE THEORETICAL UNCERTAINTY OF THE CORNERS ESTABLISHED EXCEEDED THE SPECIFIED TOLERANCES SET FORTH BY THE COMMONWEALTH OF KENTUCKY, STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS FOR A SURVEY OF THIS CLASS IN 201 KAR 18:190. THE BEARINGS AND DISTANCES SHOWN HEREON HAVE NOT BEEN ADJUSTED FOR CLOSURE AND ARE BASED ON GRID NORTH AS ESTABLISHED BY KY STATE PLANE COORDINATES (SOUTH ZONE 1602, GEOID 12), TAKEN FROM STATIC GPS OBSERVATION.

CHARLES B. HESTER PLS 4147 DATE _____



BENCHMARK DATA:

- ⊕ BENCHMARK 1
 1" IRON PIN W/ 1" PLASTIC CAP STAMPED "ALLNUTT PLS 2459" LOCATED IN THE NORTH EAST CORNER OF THE SUBJECT PROPERTY
 N: 1858937.17
 E: 1419450.22
 KY SPC (SOUTH ZONE)
 ELEV: 597.61
- ⊕ BENCHMARK 2
 1" IRON PIN W/ 1" PLASTIC CAP STAMPED "ALLNUTT PLS 2459" LOCATED IN THE SOUTH MOST CORNER OF THE SUBJECT PROPERTY
 N: 1855901.40
 E: 1419707.62
 KY SPC (SOUTH ZONE)
 ELEV: 608.88

GENERAL NOTES

- THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE BASED ON THE FIELD LOCATION OF FOUND VISIBLE STRUCTURES OR AS FLAGGED OR MARKED BY THEIR RESPECTIVE UTILITY COMPANIES. THERE MAY BE OTHER UNDERGROUND UTILITIES LOCATED ON THE PROPERTY SHOWN HEREON. NO GUARANTEE IS EXPRESSED OR IMPLIED TO THE ACTUAL LOCATION OF SAID UTILITIES.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO: ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON; ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH
- A BOUNDARY SURVEY DOES NOT DETERMINE LAND OWNERSHIP, A PROFESSIONAL LAND SURVEYOR ONLY PROVIDES AN OPINION OF PREVIOUSLY DESCRIBED BOUNDARY LINES WHICH MAY OR MAY NOT BE UPHOLD BY A COURT OF LAW. UNWRITTEN RIGHTS MAY OR MAY NOT EXIST ON SUBJECT PROPERTY
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON.
- ALL IRON PINS SET ARE 1/2" X 18" PINS SET WITH 1" YELLOW PLASTIC CAP STAMPED "B. HESTER PLS 4147" UNLESS OTHERWISE NOTED
- THE DATUM FOR THIS SURVEY IS GRID NORTH AS ESTABLISHED BY KENTUCKY STATE PLANE COORDINATES, SOUTH ZONE 1602. THE VERTICAL DATUM FOR THIS SURVEY IS NAVD 88 AS OBTAINED FROM STATIC OPUS OBSERVATION.

US WAREHOUSING
 442 & 458 CENTURY STREET
 BOWLING GREEN, KY 42101

ACES
 ARNOLD CONSULTING
 ENGINEERING SERVICES, INC.
 P.O. BOX 1338
 BOWLING GREEN, KY 42101
 PHONE (270) 780-9445

JOB NUMBER: 18-3031-L
 DATE: 04-09-2018
 SCALE: 1" = 60'
 DRAWN: J. HOGUE
 CHECKED: B. HESTER
 FILE PATH:
 Z:\SITE\EXISTING CONDITIONS

C1
 EXISTING
 TOPOGRAPHY

GENERAL NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
2. NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
3. ALL DIMENSIONS INVOLVING CURB RADII ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 5.0' UNLESS NOTED OTHERWISE.
4. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
5. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
6. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
8. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
9. ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS AREAS FOLLOWS:

PRATT AND LAMBERT TRAFFIC PAINT
 SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING
 -PAINT B29 SERIES
 GLIDDEN ROMARK TRAFFIC PAINT
 PPG ZONE AND TRAFFIC MARKING PAINT

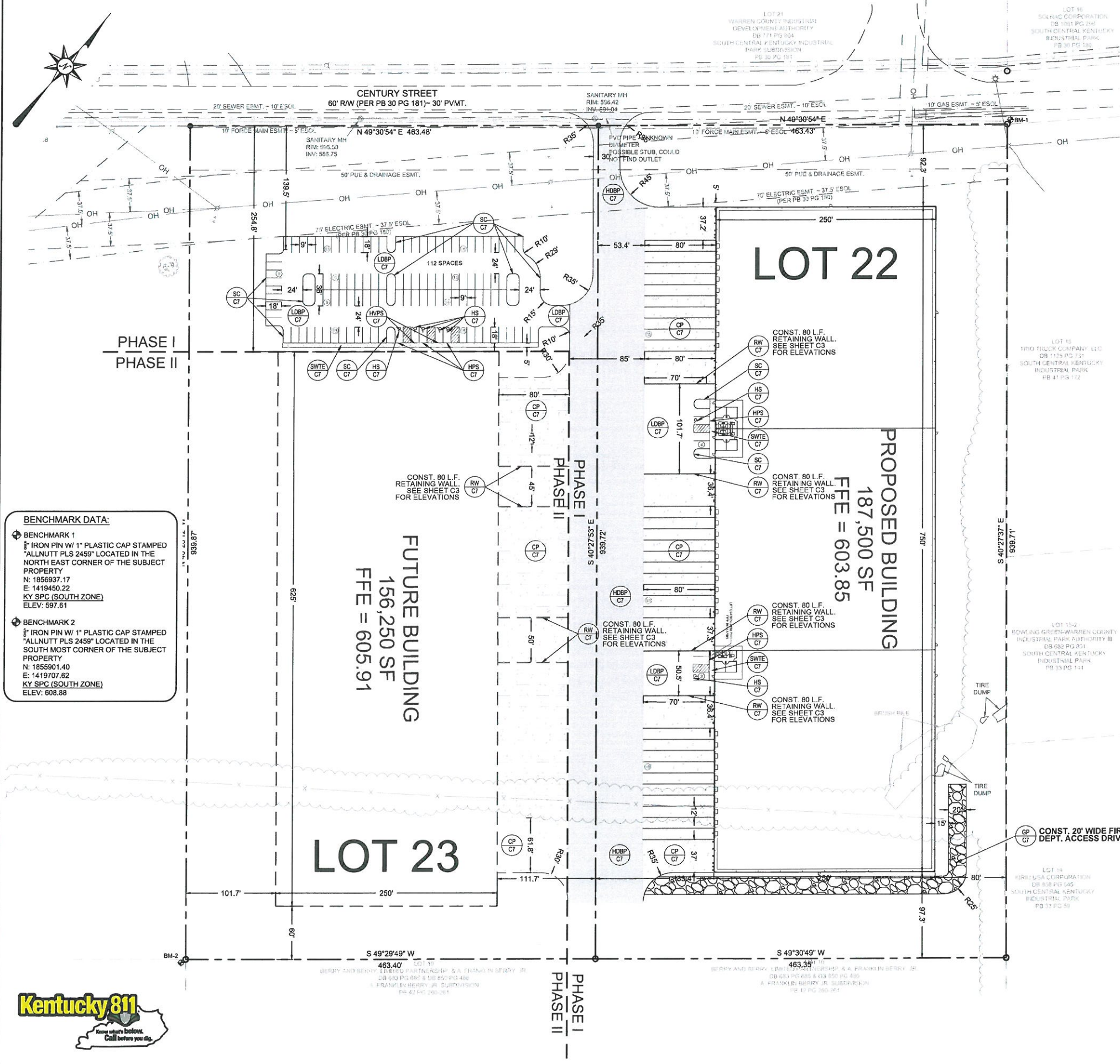
*NOTES: THE SITE SHALL COMPLY WITH ALL ACCESSIBILITY STANDARDS.

DEVELOPMENT SUMMARY			
STATISTIC	PERMITTED / REQUIREMENT	LOT 22 PROPOSED	LOT 23 PROPOSED
CURRENT ZONING	HI - BE	HI - BE	HI - BE
PROPOSED USE	WAREHOUSE	WAREHOUSE	WAREHOUSE
SITE AREA	5,000 SQ. FT. 0.11 +/- ACRES	435,456 SQ. FT. 10.00 +/- ACRES	435,538 SQ. FT. 10.00 +/- ACRES
LOT COVERAGE	90% (9.0 ACRES)	67.0% (6.7 ACRES)	60.0% (6.0 ACRES)
BUILDING SETBACKS	FRONT: 25' SIDE (WEST): 0' SIDE (EAST): 0' REAR: 0'	FRONT (CENTURY): 92.3' SIDE (WEST): 133.4' SIDE (EAST): 80.0' REAR (SOUTH): 97.3'	FRONT (CENTURY): 254.8' SIDE (WEST): 101.7' SIDE (EAST): 111.7' REAR (SOUTH): 60.0'
TOTAL PARKING	1 SPACE PER EMPLOYEE MAXIMUM SHIFT: LOT 22: 50 EMPLOYEES LOT 23: 50 EMPLOYEES 100 SPACES REQUIRED	PROPOSED: HANDICAP SPACES: 2 STANDARD SPACES: 4 TOTAL STANDARD: 6 **REMAINING REQUIRED SPACES PROVIDED ON LOT 23	PROPOSED: HANDICAP SPACES: 5 STANDARD SPACES: 107 TOTAL STANDARD: 112
TOTAL LOADING SPACES	1 SPACE PER 20,000 SQ. FT.: 187,500 / 20,000 = 9.3 9 LOADING SPACES REQUIRED	1 SPACE PER 20,000 SQ. FT.: 187,500 / 20,000 = 9.3 9 LOADING SPACES REQUIRED 30 SPACES PROVIDED	1 SPACE PER 20,000 SQ. FT.: 156,250 / 20,000 = 7.8 8 LOADING SPACES REQUIRED 32 SPACES PROVIDED
LANDSCAPE PLAN	YES	SEE SHEET L1	SEE SHEET L1
DRAINAGE PLAN	YES	SEE SHEET C3	SEE SHEET C3
TRAFFIC STUDY	N/A	N/A	N/A
SITE ACCESS	PER CITY OF BOWLING GREEN	ACCESS ONTO CENTURY ST.	ACCESS ONTO CENTURY ST.
LOCATING DISTANCE: APPROXIMATELY 1,600 L.F. TO INTERSECTION OF MITCH MCCONNELL WAY & CENTURY STREET			

BUILDING SUMMARY			
STATISTIC	PERMITTED / REQUIREMENT	PROVIDED	PROVIDED
F.A.R.	N/A	0.43	0.35
BUILDING AREA	N/A	187,500 S.F.	156,250 S.F.
BUILDING HEIGHT	100'	29'-0" ONE STORY	29'-0" ONE STORY

CONSTRUCTION LEGEND

- (LDBP CT) - LIGHT DUTY BITUMINOUS PAVEMENT
- (HDBP CT) - HEAVY DUTY BITUMINOUS PAVEMENT
- (SWTE CT) - SIDEWALK TURN-DOWN EDGE
- (GP CT) - GRAVEL PAVEMENT
- (SC CT) - STANDARD CURB
- (CP CT) - CONCRETE PAVEMENT
- (HS CT) - HANDICAP SYMBOL
- (HVPS CT) - HANDICAP VAN PARKING SIGN
- (HPS CT) - HANDICAP PARKING SIGN
- (RW CT) - RETAINING WALL



US WAREHOUSING
 442 & 458 CENTURY STREET
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 FILE PATH:
 Z:\SITE\18-3031-L\PROPOSED LAYOUT



C2
 PROPOSED LAYOUT



GRADING AND DRAINAGE NOTES:

- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY 811 48 HOURS PRIOR TO EXCAVATION.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
- SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
- FILL, INCLUDING FINAL TOPSOIL SHALL BE PLACED A MINIMUM OF 3 INCHES BELOW FFE AT BUILDING SLABS UNLESS OTHERWISE INDICATED BY ARCHITECTURAL WALL SECTION DETAILS.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM THE BUILDING.
- ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
- ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
- STONE BASES SHOULD BE COMPACTED TO A DENSITY SATISFACTORY TO ENGINEER, TYPICALLY 84% OF SOLID VOLUME OR BY TEST STRIP METHODS.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE.
- GRADE LINES SHOWN ARE FINISHED GRADE. CONTRACTOR SHOULD SEE DETAIL SHEET FOR APPROPRIATE PAVEMENT TYPE TO DETERMINE SUB-GRADE ELEVATIONS FOR PAVING AREAS.
- CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:
 - A) NO WATER WILL POND AT POINTS WHERE LANDSCAPE ISLANDS EXTEND INTO PARKING FIELDS.
 - B) SPACES DESIGNATED FOR HANDICAP PARKING AND ACCESS AISLE SHALL HAVE A FINAL SLOPE AFTER PAVING IS COMPLETED OF NOT MORE THAN 2.0% IF EITHER OF THESE ITEMS ARE NOT CONSTRUCTED AS OUTLINED ABOVE, NETWORK WILL BE PROVIDED BY THE CONTRACTOR TO CORRECT DEFICIENCIES AT THE CONTRACTORS EXPENSE.
- TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENT CONTROL MEASURES AROUND STOCKPILES DURING CONSTRUCTION.
- ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG GUTTER LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.

STORM WATER RUNOFF & WATER QUALITY CALCULATIONS

PRE-DEVELOPED
 TOTAL AREA (A) = 20 ACRES (LOT 22 & 23)
 AREA OF IMPERVIOUS (A_i) = 0.00 ACRES
 AREA OF PERVIOUS (A_p) = 20 ACRES
 C_i = 0.95 C_p = 0.25
 $WT. "C" = \frac{(A_i * C_i) + (A_p * C_p)}{A_t} = \frac{(0.00 * 0.95) + (20 * 0.25)}{20} = 0.25$

POST-DEVELOPED
 TOTAL AREA (A) = 20 ACRES (LOT 22 & 23)
 AREA OF IMPERVIOUS (A_i) = 12.7 ACRES
 AREA OF PERVIOUS (A_p) = 7.3 ACRES
 C_i = 0.95 C_p = 0.25
 $WT. "C" (TOTAL) = \frac{(A_i * C_i) + (A_p * C_p)}{A_t} = \frac{(12.7 * 0.95) + (7.3 * 0.25)}{20} = 0.69$

$\Delta "C" = 0.69 - 0.25 = 0.44$

RETENTION REQUIRED = $0.44 * (4/12) * 20 = 2.93$ AC-FT (127,776 CU. FT.)

TOTAL RETENTION PROVIDED BASIN #1
 BASIN VOLUME = 34,992 CU. FT. AT ELEV. 600.00

TOTAL RETENTION PROVIDED BASIN #2
 BASIN VOLUME = 40,117 CU. FT. AT ELEV. 599.00

TOTAL RETENTION PROVIDED BASIN #3
 BASIN VOLUME = 22,537 CU. FT. AT ELEV. 603.00

TOTAL RETENTION PROVIDED = 137,646 CU.FT. (3.62 AC-FT)

WATER QUALITY (20 AC.) IS ACHIEVED THROUGH THE USE OF TWO EXTENDED DETENTION (ED) BASIN AND WATER QUALITY UNITS (WQU). THE DETENTION BASIN ORIFICE OUTLET WAS SIZED ACCORDING TO THE CITY OF BOWLING GREEN BMP STORM WATER MANUAL AND TREATMENT TRAIN IS RATED AT 80% REMOVAL EFFICIENCY. THE CRITERIA AND CALCULATIONS FOR THE WATER QUALITY SYSTEM ARE BELOW.

WATER QUALITY CALCULATIONS
 TOTAL AREA (A) = 20 ACRES
 AREA OF IMPERVIOUS - TOTAL (A_i) = 12.7 ACRES
 AREA OF PERVIOUS - TOTAL (A_p) = 7.3 ACRES
 % IMPERVIOUS - TOTAL (I) = 63.5%
 P = 1.1 INCHES (RAINFALL FOR 85% STORM EVENT)
 $Rv-TOTAL = 0.05 + 0.009(I) = 0.05 + 0.009(63.5) = 0.6215$
 $WQv = \frac{(P * Rv * A_i)}{12} = \frac{(1.1 * 0.6215 * 12.7)}{12} = 1.14$ AC-FT (46,658 CU FT)

WATER QUALITY PROVIDED = 67,634 CU.FT. (1.55 AC-FT)

TREATMENT TRAIN
 REQUIRED TREATMENT = 80% TSS REMOVAL
 EXTENDED DETENTION BASIN = 60% TSS REMOVAL
 WATER QUALITY UNIT = 50% TSS REMOVAL
 TOTAL SITE REMOVAL = 60% + (40% x 50%) = 80%

HYDROLOGY STUDIO 2018 WAS USED TO COMPUTE BASIN AND OUTLET STRUCTURE SIZES.

CONSTRUCTION LEGEND

- DROP BOX INLET
- WATER QUALITY UNIT
- DRYWELL

BENCHMARK DATA:

BENCHMARK 1
 1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "ALLNUTT PLS 2459" LOCATED IN THE NORTH EAST CORNER OF THE SUBJECT PROPERTY
 N: 1856937.17
 E: 1419450.22
 KY SPC (SOUTH ZONE)
 ELEV: 597.61

BENCHMARK 2
 1/2" IRON PIN W/ 1" PLASTIC CAP STAMPED "ALLNUTT PLS 2459" LOCATED IN THE SOUTH MOST CORNER OF THE SUBJECT PROPERTY
 N: 1855901.40
 E: 1419707.62
 KY SPC (SOUTH ZONE)
 ELEV: 608.86

DOWNSPOUT NOTE:
 ALL DOWNSPOUTS OF BUILDING MUST BE DIRECTED TO BASINS ALONG THE SOUTHERN OR WESTERN BUILDING LINE

DOWNSPOUT NOTE:
 ALL DOWNSPOUTS OF BUILDING MUST BE DIRECTED TO BASINS ALONG THE SOUTHERN OR WESTERN BUILDING LINE

FUTURE BUILDING
 156,250 SF
 FFE = 605.91

PROPOSED BUILDING
 187,500 SF
 FFE = 603.85



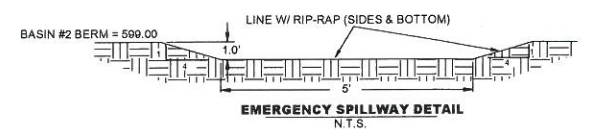
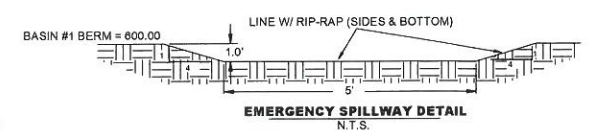
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JOB NUMBER: 18-3031-L
DATE: 04-09-2018
SCALE: 1" = 60'
DRAWN: C. WICKER
CHECKED: B. ZACKERY
FILE PATH: Z:\SITEDEV\PROPOSED GRADING



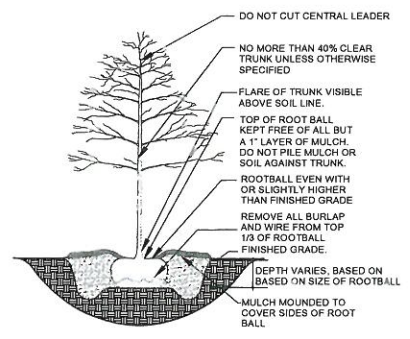
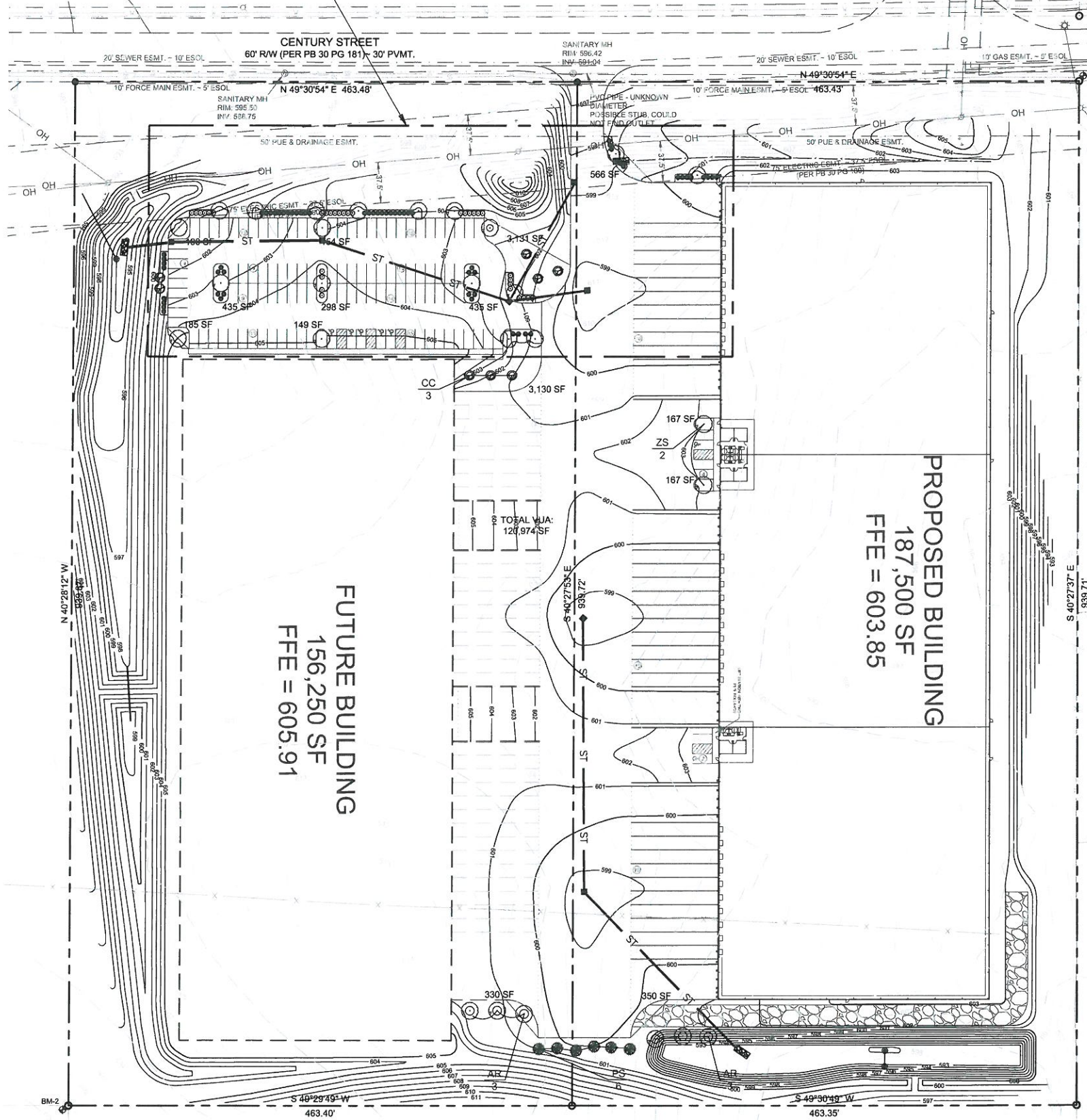
C3
 PROPOSED GRADING



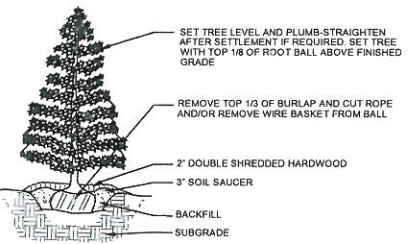
THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY.



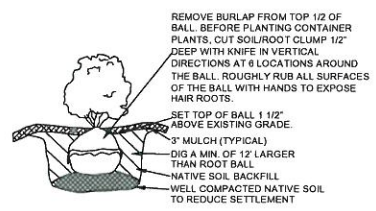
NOTE: SEE SHEET L1.1 FOR ENLARGED VIEW & PLANT IDENTIFICATION



TYPICAL PLANTING DETAIL- TREES
NOT TO SCALE



TYPICAL PLANTING DETAIL- EVERGREEN TREES
NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

- LANDSCAPE NOTES:
- PLANT MATERIALS SHALL CONFORM IN SIZE AND GRADE TO AMERICAN STANDARDS FOR NURSERY STOCK. PLANT MATERIALS SHALL BE OF STANDARD QUALITY TRUE TO NAME AND TYPE, AND FIRST CLASS REPRESENTATIVES OF THEIR SPECIES OR VARIETY. PLANTS SHALL BE CAREFULLY LABELED AND SIZES NOTED. RIGHT IS RESERVED TO REJECT PLANTS CONSIDERED AS UNSATISFACTORY. REJECTED PLANTS SHALL BE REMOVED FROM SITE. PLANTS SHOULD NOT BE PRUNED PRIOR TO DELIVERY. HEADING-BACK PLANTS TO MEET SIZES INDICATED IN DRAWINGS SCHEDULE WILL NOT BE PERMITTED.
 - PLANTS & TREES
 - CONTRACTOR SHALL STAKE THE LOCATION OF EACH TREE AND SHRUB IN ACCORDANCE WITH THE LOCATIONS SHOWN ON THE DRAWINGS. STAKING AND LAYOUT WORK SHALL BE DONE SUFFICIENTLY IN ADVANCE OF PLANTING OPERATION TO PERMIT THE LANDSCAPE DESIGNER TO CHECK, REVISE IF DESIRED, AND APPROVE THE LOCATIONS BEFORE DIGGING OPERATIONS BEGIN.
 - EXCAVATE PLANTING BEDS AND POCKETS TO A DEPTH REQUIRED FOR PLANTINGS.
 - ANY ROCK OR OTHER UNDERGROUND OBSTRUCTION SHALL BE REMOVED TO DEPTH NECESSARY TO PERMIT PLANTING ACCORDING TO THESE SPECIFICATION.
 - IN GENERAL, CONTRACTOR SHALL THOROUGHLY WATER ALL PLANTED AREAS AFTER PLANTING AND IN DRY WEATHER USE ENOUGH WATER TO THOROUGHLY SOAK ALL TREE PITS BEFORE PLANTING. CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS IN ADVANCE OF START OF THE WORK TO INSURE THAT AN ADEQUATE SUPPLY OF WATER AND WATERING EQUIPMENT ARE AVAILABLE WHEN REQUIRED.
 - MULCHING
 - MULCH TOP OF ROOT BALL AND SAUCER WITHIN 48 HOURS TO A MINIMUM DEPTH OF 2" AND TO A DEPTH NOT TO EXCEED 3".
 - ALL SHADE AND FLOWERING TREES SHALL BE MULCHED WITH THREE (3) INCHES THICK (SETTLED) AND COVERING AN AREA TWELVE (12) INCHES GREATER THAN THE DIAMETER OF PIT.
 - PLANT MAINTENANCE
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR 90 DAYS AFTER THE LAST PLANT HAS BEEN INSTALLED.
 - ALL PLANTS SHALL BE KEPT IN A GROWING, HEALTHY CONDITION BY WATERING, PRUNING, SHEARING, SPRAYING, TIGHTENING OF GUYS, STRAIGHTENING OF PLANTS WHICH LEAN OR SAG, LIFTING PLANTS WHICH DEVELOP MORE THAN NORMAL SETTLEMENT, WEEDING, AND BY ANY OTHER NECESSARY OPERATION OF MAINTENANCE. KEEP ALL PLANTING AREAS FREE OF WEEDS AND UNDESIRABLE GRASSES.
 - DURING THE MAINTENANCE PERIOD, PLANTS IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION, SHALL BE REMOVED AND REPLACED IMMEDIATELY USING SPECIFIED MATERIAL.
 - ACCEPTANCE AND GUARANTEE
 - ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR WITHOUT SATISFACTORY GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, SHALL BE REMOVED AND REPLACED IN NEXT SPECIFIED PLANTING SEASON. ANY REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED AND REPLANTED IN SAME LOCATION FROM WHICH DEAD PLANT WAS REMOVED AND SHALL BE REPLACED AT NO ADDITIONAL COST.
 - ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY FOR REPLACEMENT.
 - DURING THE BIDDING PROCESS, NO PLANTS MAY BE SUBSTITUTED FOR A DIFFERENT PLANT. THE PLAN MUST BE BID AS DRAWN.
 - THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO COME BACK AFTER ONE YEAR OF ACCEPTANCE OF THE PLANTING TO REMOVE ANY STAKES OR GUY WIRES THAT MAY HAVE BEEN USED
 - ANY DISCREPANCY BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE.
 - THE OWNER RESERVES THE RIGHT TO ALTER THE PLANTING PLAN AS SHOWN IN THE AREA OF THE FOUNDATION.

MULCH: ALL SHRUBS THAT ARE SHOW IN GROUPINGS, SHALL BE MULCHED IN A PLANT BED WITH SHREDDED HARDWOOD MULCH TO A MINIMUM OF 2" AND NOT GREATER THAN 3" IN DEPTH. IN AREAS OF STEEP SLOPES A FINE GRADE (NEARLY INVISIBLE) PLASTIC NETTING MAY BE USED TO STABILIZE THE MULCH BED.

ANNUALS AND PERENNIALS: ANY DESIRED ANNUALS AND PERENNIALS MAY BE DETERMINED BETWEEN THE PROPERTY OWNER AND THE LANDSCAPE CONTRACTOR FOR DESIRED COLOR PALETTE.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
TREES						
AR	12	ACER RUBRUM 'RED SUNSET'	RED MAPLE	1 3/4" CAL.	B&B	WELL BRANCHED
CC	8	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	5'-6" HT.	B&B	WELL BRANCHED
PS	6	PINUS STROBUS	EASTERN WHITE PINE	5'-6" HT.	B&B	WELL BRANCHED
QP	6	QUERCUS PHELLOS	WILLOW OAK	1 3/4" CAL.	B&B	WELL BRANCHED
ZS	9	ZELKOVA SERRATA	JAPANESE ZELKOVA	1 3/4" CAL.	B&B	WELL BRANCHED
SHRUBS						
BS	40	BUXUS SEMPERVIRENS	COMMON BOXWOOD	24" HT.	B&B	WELL BRANCHED
EA	28	EUCONYMIUS ALATUS 'COMPACTUS'	WINGED EUONYMIUS	24" HT.	B&B	WELL BRANCHED
FG	4	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24" HT.	B&B	WELL BRANCHED
IG	18	ILEX GLABRA	INKBERRY	24" HT.	B&B	WELL BRANCHED

TOTAL VEHICULAR USE AREA: 120,974 SF
 REQUIRED INTERIOR LANDSCAPING: 6,049 SF (5.0%)
 PROVIDED INTERIOR LANDSCAPING: 9,682 SF (8.0%)



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 DATE: 04-09-2018
 SCALE: 1" = 60'
 DRAWN: C. WICKER
 CHECKED: B. SHIRLEY

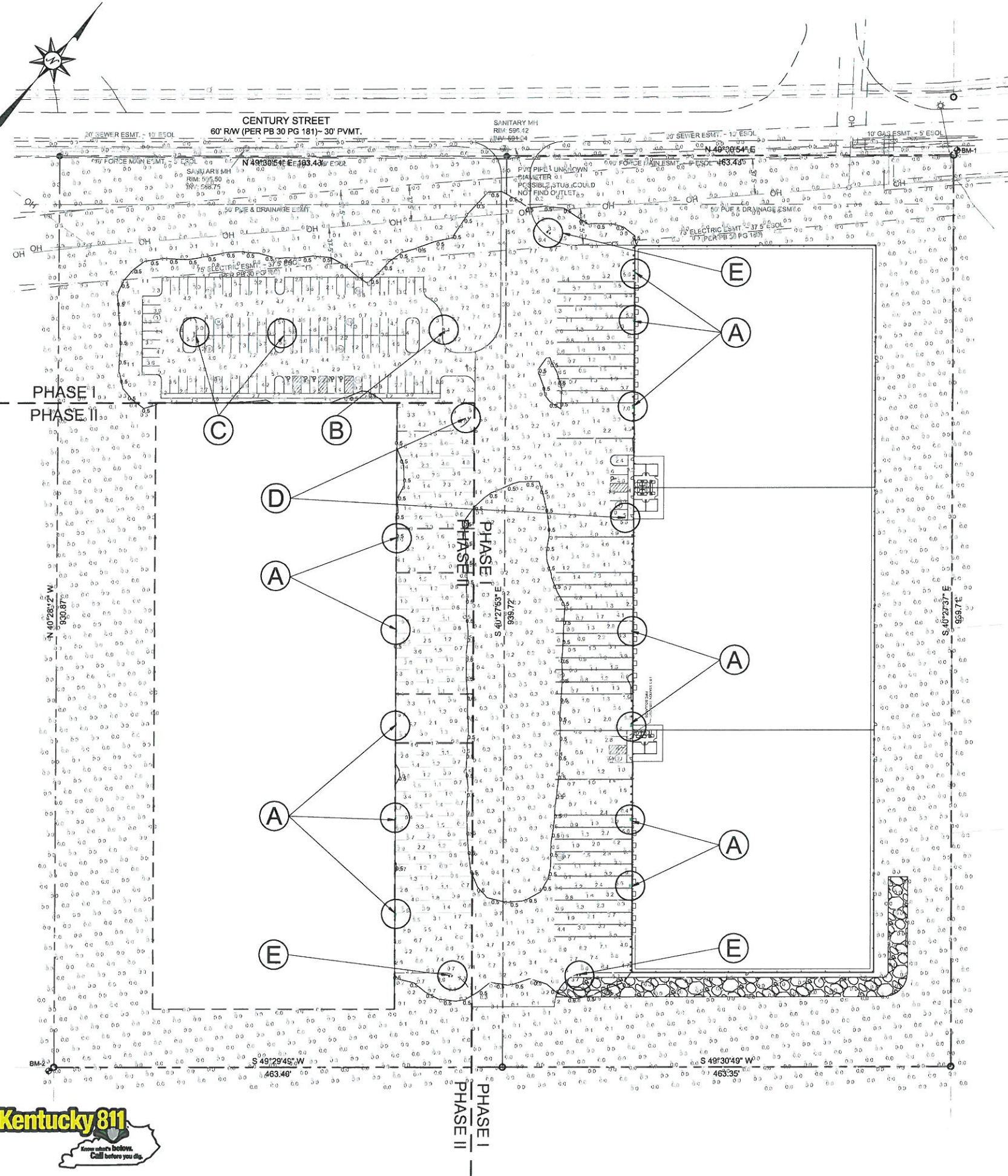
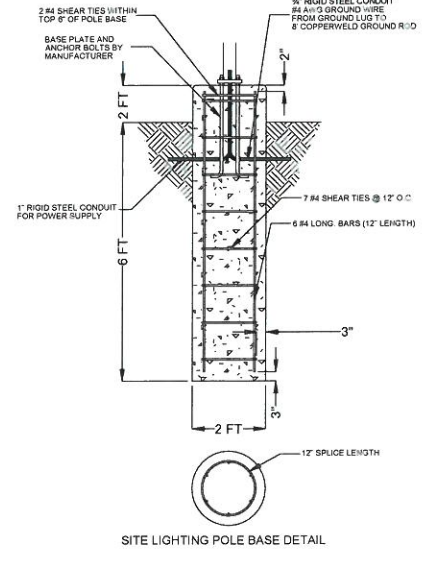
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 LANDSCAPE
 PLAN



GENERAL NOTES

1. READINGS SHOWN ARE IN UNITS OF MAINTAIN FOOTCANDLES.
2. LITHONIA LIGHTING FIXTURES USED IN MODEL (SEE SCHEDULE THIS SHEET & MECHANICAL PLANS FOR FURTHER DETAILS).
3. FIXTURES SHALL MATCH AS NOTED OR EQUIVALENT PER OWNER.
4. A MOUNTING HEIGHT: 18'
B MOUNTING HEIGHT: 23'
C MOUNTING HEIGHT: 23'
D MOUNTING HEIGHT: 23'
E MOUNTING HEIGHT: 23'
5. READINGS TAKEN AT GRADE
6. SEE MECHANICAL/ELECTRICAL PLANS FOR EXACT LOCATION OF BUILDING MOUNTED FIXTURES AND WALL PACKS
7. FIXTURE SPACING AS SHOWN
8. L.L.F. CALCULATED AT 0.72
9. THE CONTRACTOR SHALL VERIFY TOTAL LINEAR FEET OF CONDUIT AND WIRE GAUGE SIZE IS ADEQUATE.
10. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH MECHANICAL ENGINEER TO ENSURE ELECTRICAL PANEL LOADING REQUIREMENTS ARE MET AND NOT EXCEEDED.
11. CONTRACTOR SHALL COORDINATE WITH MECHANICAL PLANS FOR CONNECTION TO ELECTRICAL SERVICE PANEL.
12. CONTRACTOR SHALL VERIFY THAT ALL ELECTRICAL CONNECTIONS MEET LOCAL BUILDING CODES AND LOADING REQUIREMENTS.
13. ANY DISCREPANCIES BETWEEN ARCHITECTURAL, MECHANICAL, AND SITE LIGHTING PLANS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR REVIEW.



Symbol	Label	Quantity	Catalog Number AND Manufacturer	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	A	12	TWH 400M (PULSE) Lithonia Lighting	DIE-CAST GENERAL PURPOSE WALLPACK WITH GLASS REFRACTOR	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	TWH_400M_(PU LSE).ies	38000	0.72	458
[Symbol]	B	1	CSX2 LED 120C 1000 Lithonia Lighting	CONTOUR SERIES LED AREA LUMINAIRE WITH 120 4000K LEDS OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE V LENS	LED	1	CSX2_LED_120C_1000_40K_TSM_3es	44784	0.72	1248
[Symbol]	C	2	CSX2 LED 120C 1000 Lithonia Lighting	CONTOUR SERIES LED AREA LUMINAIRE WITH 120 4000K LEDS OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE V LENS	LED	1	CSX2_LED_120C_1000_40K_TSM_3es	44784	0.72	832
[Symbol]	D	2	CSX2 LED 120C 1000 Lithonia Lighting	CONTOUR SERIES LED AREA LUMINAIRE WITH 120 4000K LEDS OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE V LENS	LED	1	CSX2_LED_120C_1000_40K_TSM_3es	44784	0.72	832
[Symbol]	E	3	CSX2 LED 120C 1000 Lithonia Lighting	CONTOUR SERIES LED AREA LUMINAIRE WITH 120 4000K LEDS OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE V LENS WITH HOUSE SIDE SHIELD	LED	1	CSX2_LED_120C_1000_40K_TSM_HS.ies	28528	0.72	832

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	10.2 fc	0.0 fc	N/A	N/A
Stal Zone #1	X	0.7 fc	10.2 fc	0.0 fc	N/A	N/A



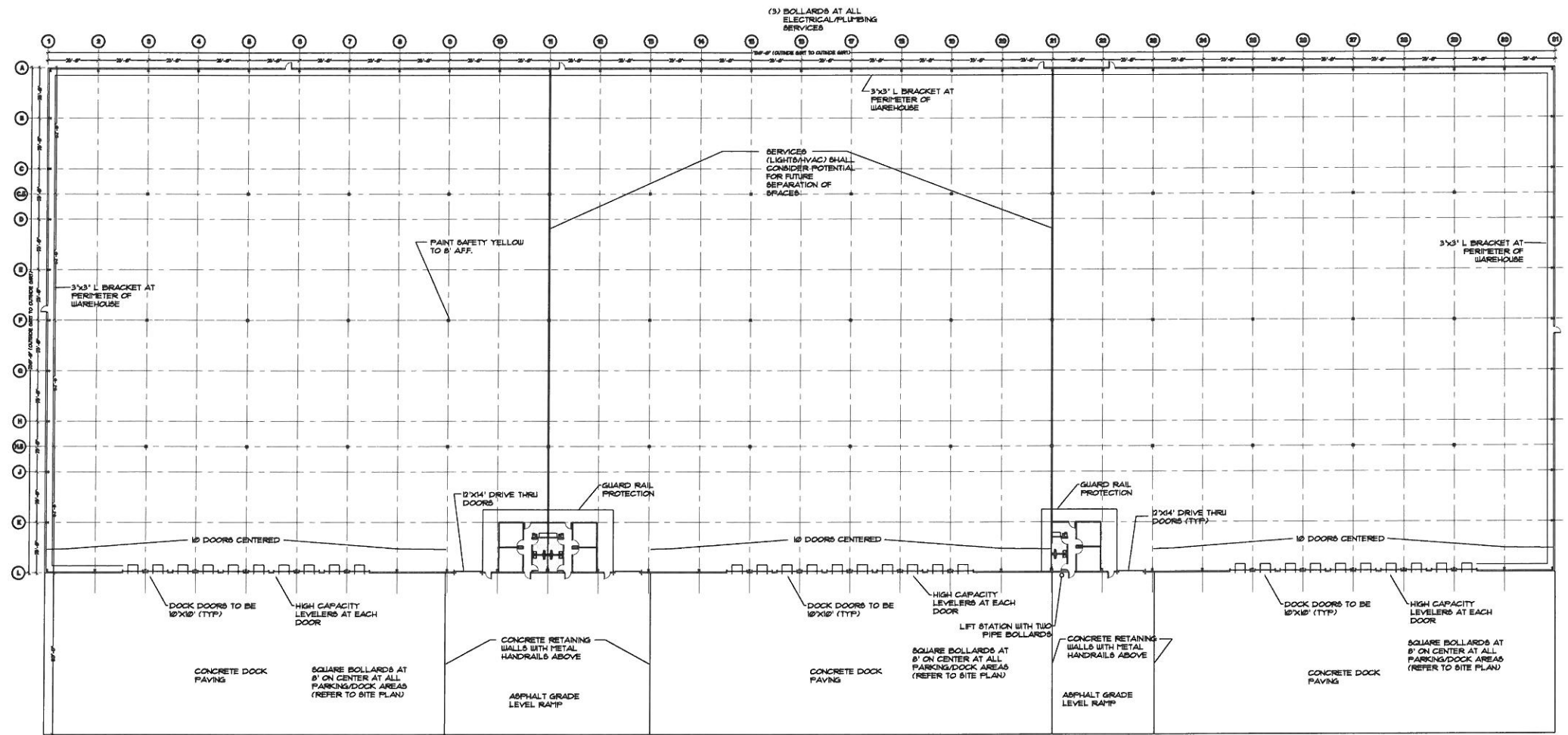
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CHECKED: B. ZACKERY
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SL1
SITE LIGHTING PLAN



FLOOR PLAN
SCALE: 1/32" = 1'-0"

FLOOR PLAN

US WAREHOUSE TRACT 8

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 John Williams, Architect
 1136 South Park Drive, Suite 102
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 270-782-2273 270-782-2173 Fax

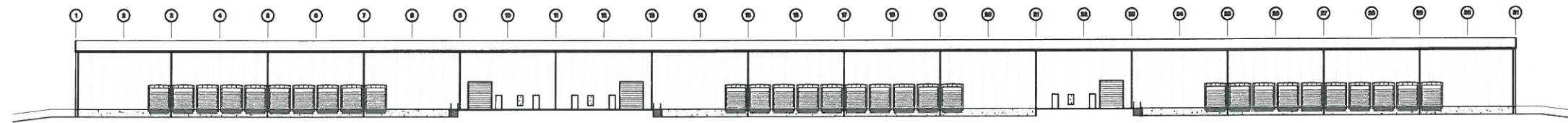
associates architects

REVISIONS:

CADD FILE:

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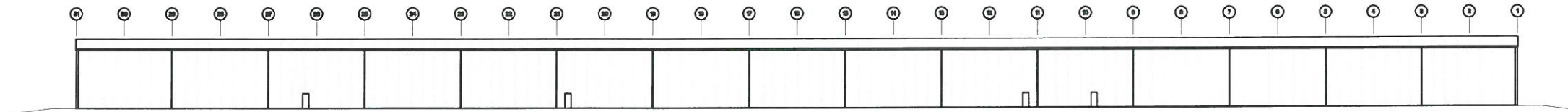
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FRONT ELEVATION

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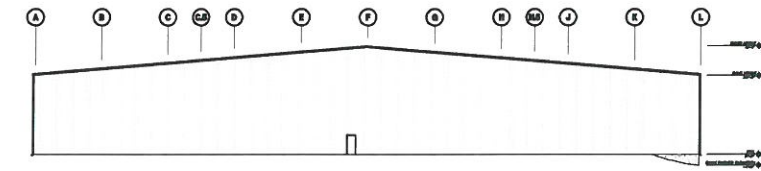
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REAR ELEVATION

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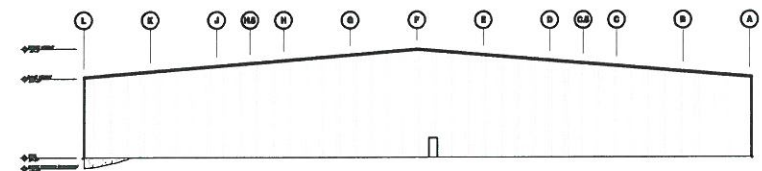
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LEFT ELEVATION

SCALE: 1/32" = 1'-0"

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A-2



RIGHT ELEVATION

SCALE: 1/32" = 1'-0"

4
A-2



ELEVATIONS

**US WAREHOUSE
TRACT 8**

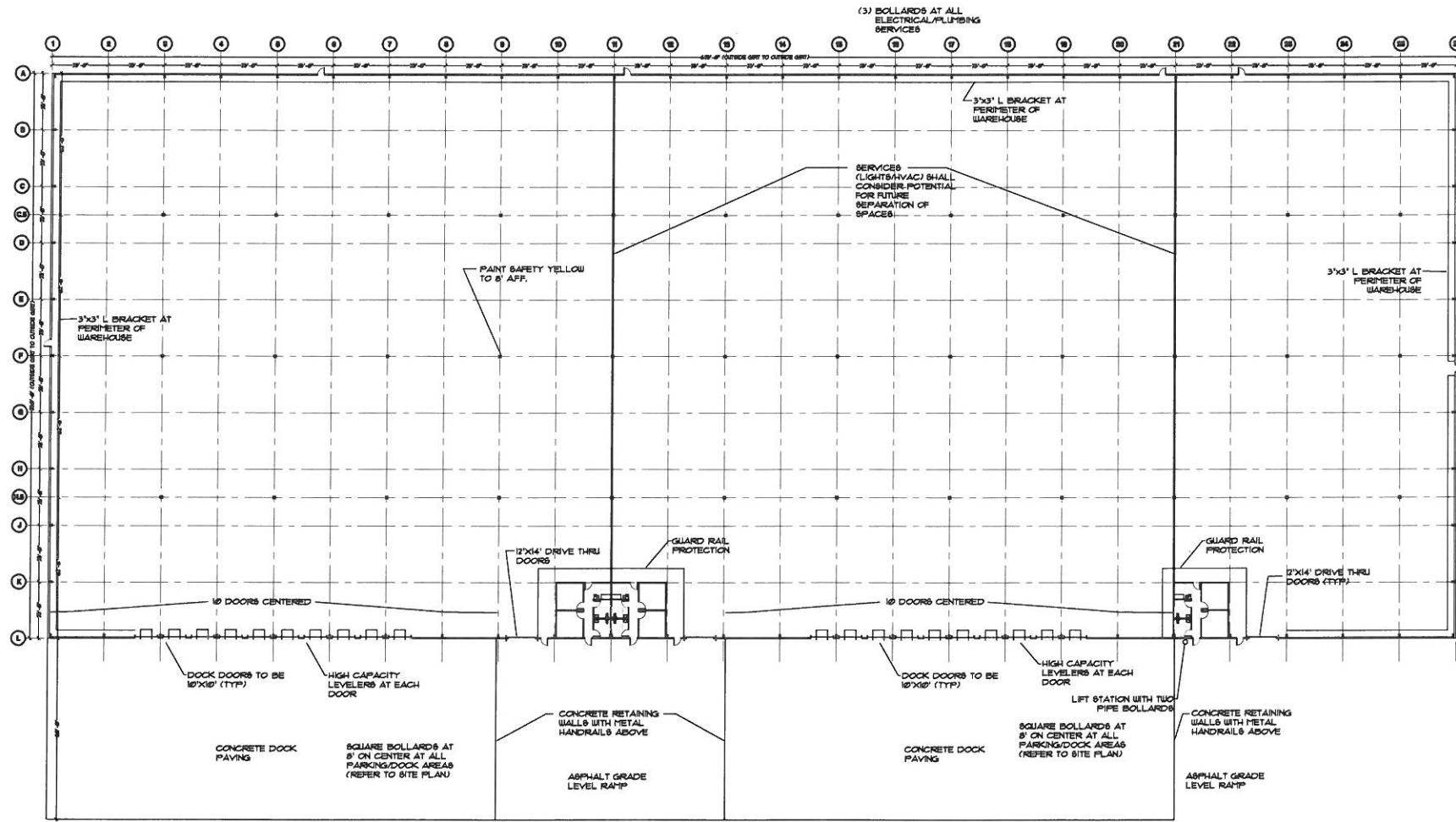
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CADD FILE:

DATE: 04.09.18
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CHECKED BY: JW

A-2



FLOOR PLAN
SCALE: 1/32" = 1'-0"

1
A-1

FLOOR PLAN

TRACT 8

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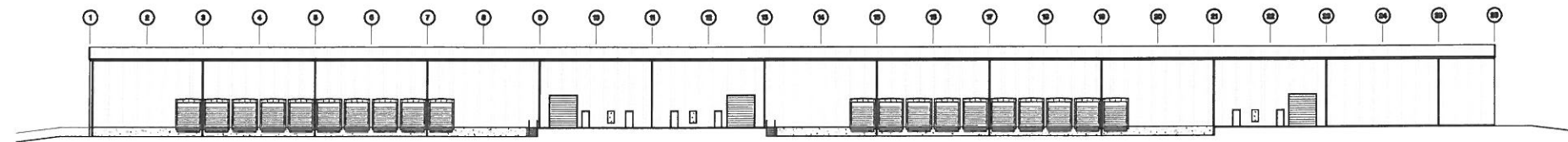
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ELEVATIONS

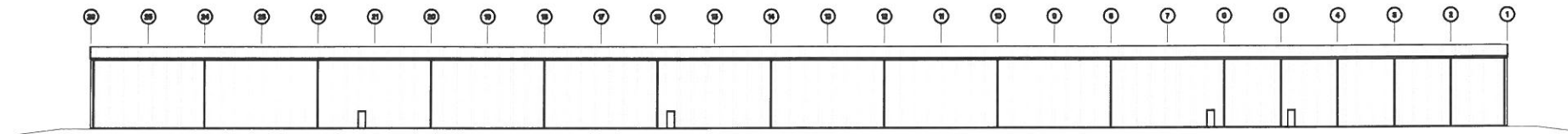
TRACT 8



FRONT ELEVATION

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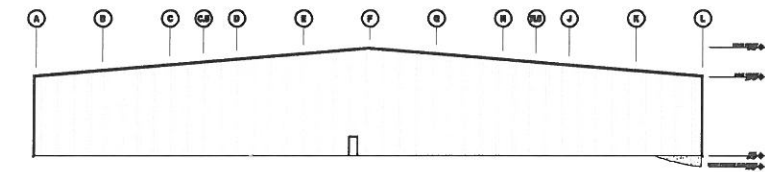
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REAR ELEVATION

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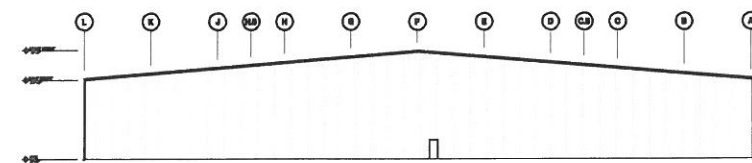
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A-2



LEFT ELEVATION

SCALE: 1/32" = 1'-0"

3
A-2



RIGHT ELEVATION

SCALE: 1/32" = 1'-0"

4
A-2

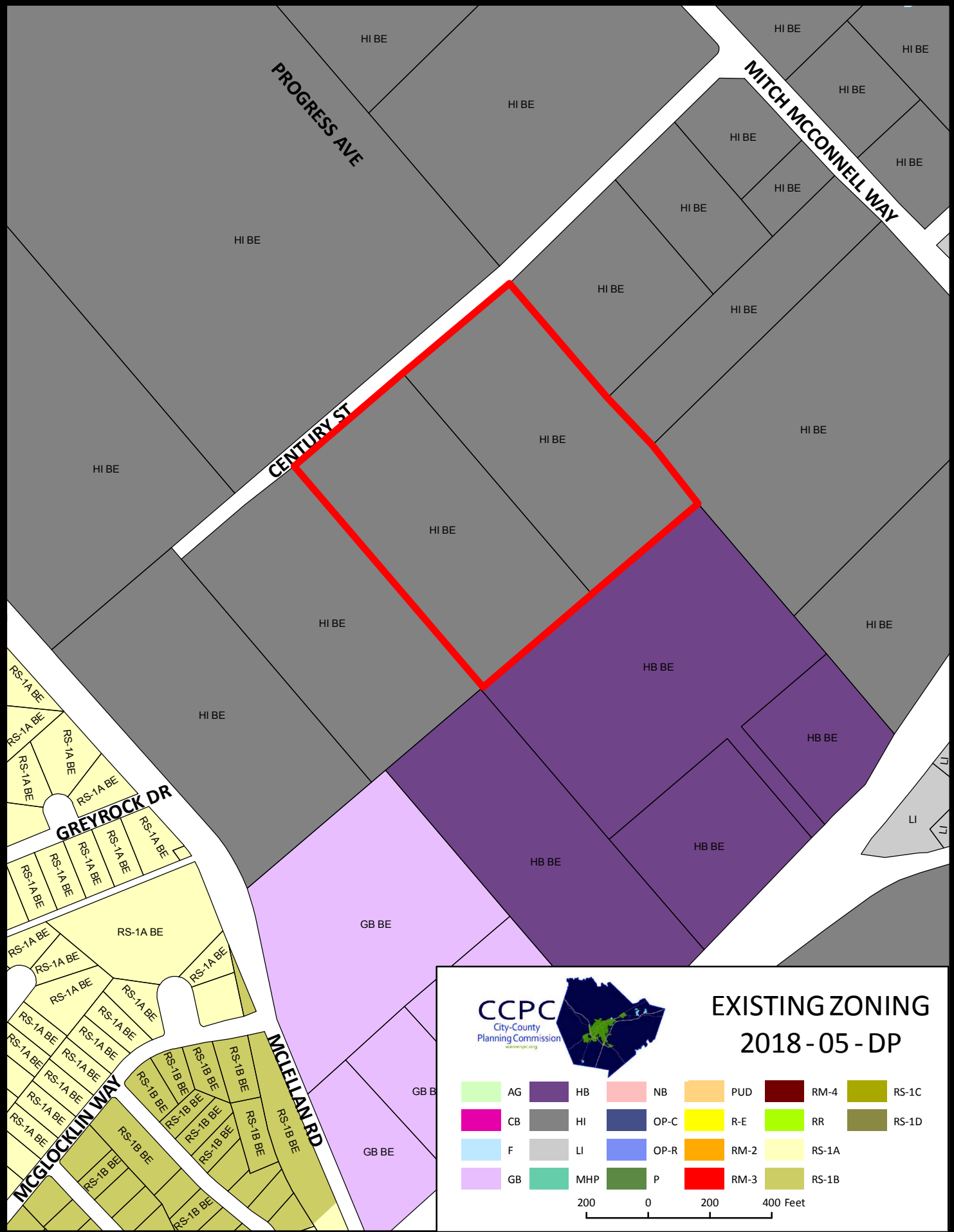
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architects

REVISIONS:

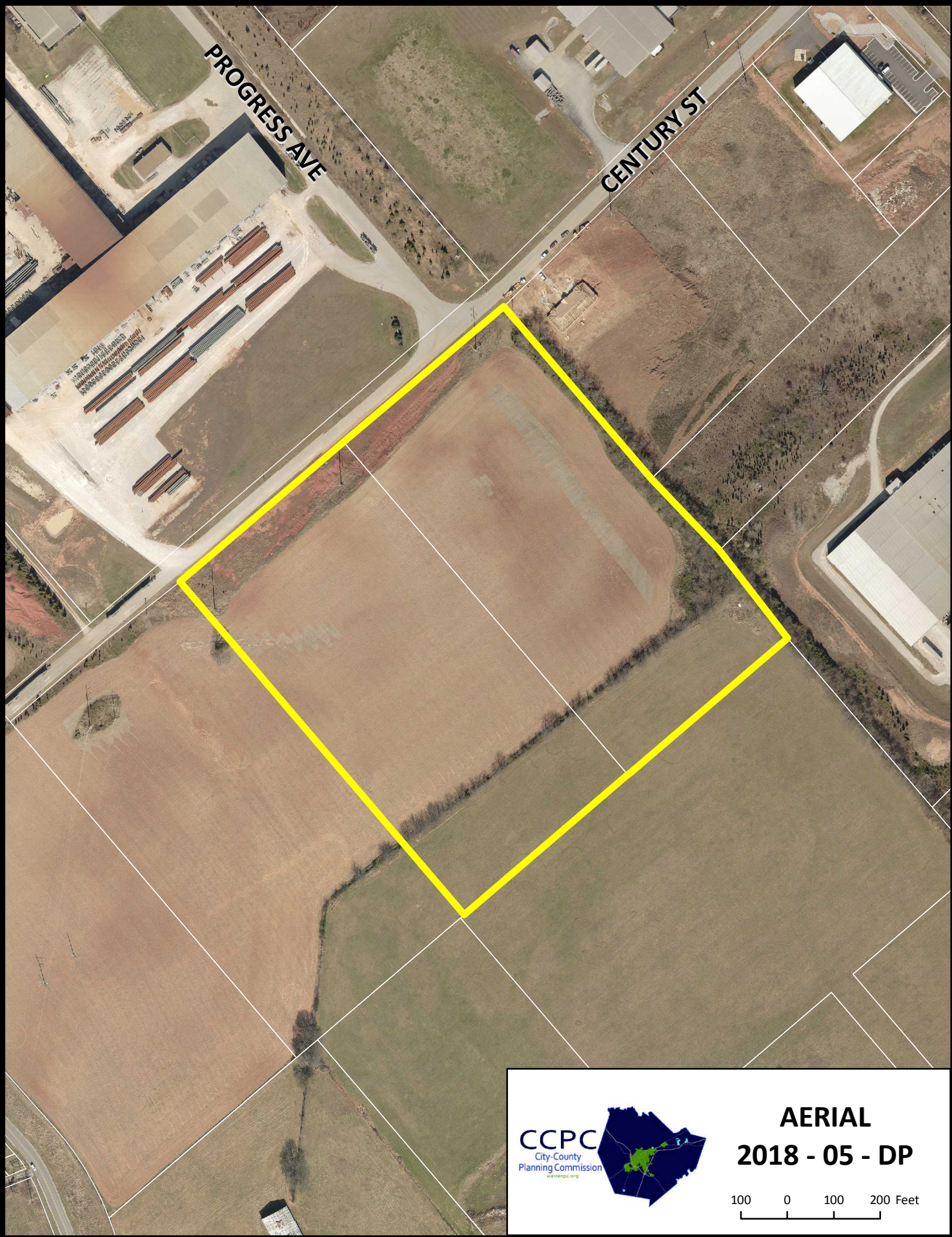
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